

For Sale

1.37 Acre Prime Retail Redevelopment Opportunity
7381 Richmond Road
Williamsburg, Virginia



FOR ADDITIONAL INFORMATION, PLEASE CONTACT:

Campana Waltz Commercial Real Estate, LLC

Ron A. Campana, Jr.

11832 Fishing Point Drive, Suite 400

Newport News, Virginia 23606

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This information was obtained from sources deemed to be reliable but is not warranted.

This offer subject to errors and omissions, or withdrawal, without notice.



FOR SALE
7381 Richmond Road
Williamsburg, Virginia

Location: 7381 Richmond Road, Williamsburg, Virginia 23188

Description: This highly visible retail land redevelopment opportunity along the west side of Richmond Road (Route 60), south of Farmville Lane, and north of Kristiansand Drive offers a great location and high traffic count visibility along Route 60.

Street Frontage / Access

Street Type: Four-lane commercial corridor

Frontage (Linear Ft.): Approximately 145

Number of Curb Cuts: 1

Traffic Count (Cars/Day): 15,804 (as of 2018)

The subject consists of an existing 600-square-foot office/showroom building and had preliminary plans for a proposed additional 4,424-square-foot auto service and repair facility.

Site: **Approximately 1.37 Acres**

Sales Price: **\$495,000.00**

Transportation / Distance:

Interstate I-64: 1.7 miles

4-Lane arterial Highway U.S. Route 199: 2.4 miles

Commercial Airport Newport News-Williamsburg International Airport:
25.9 miles

Zoning: **B-1 Zoning: General Business:** Multiple allowable uses by right are attached in the marketing package.

Also included:

- Additional Property Photographs
- Aerial Maps
- Location Map
- List of uses which are allowed by right
- Demographics

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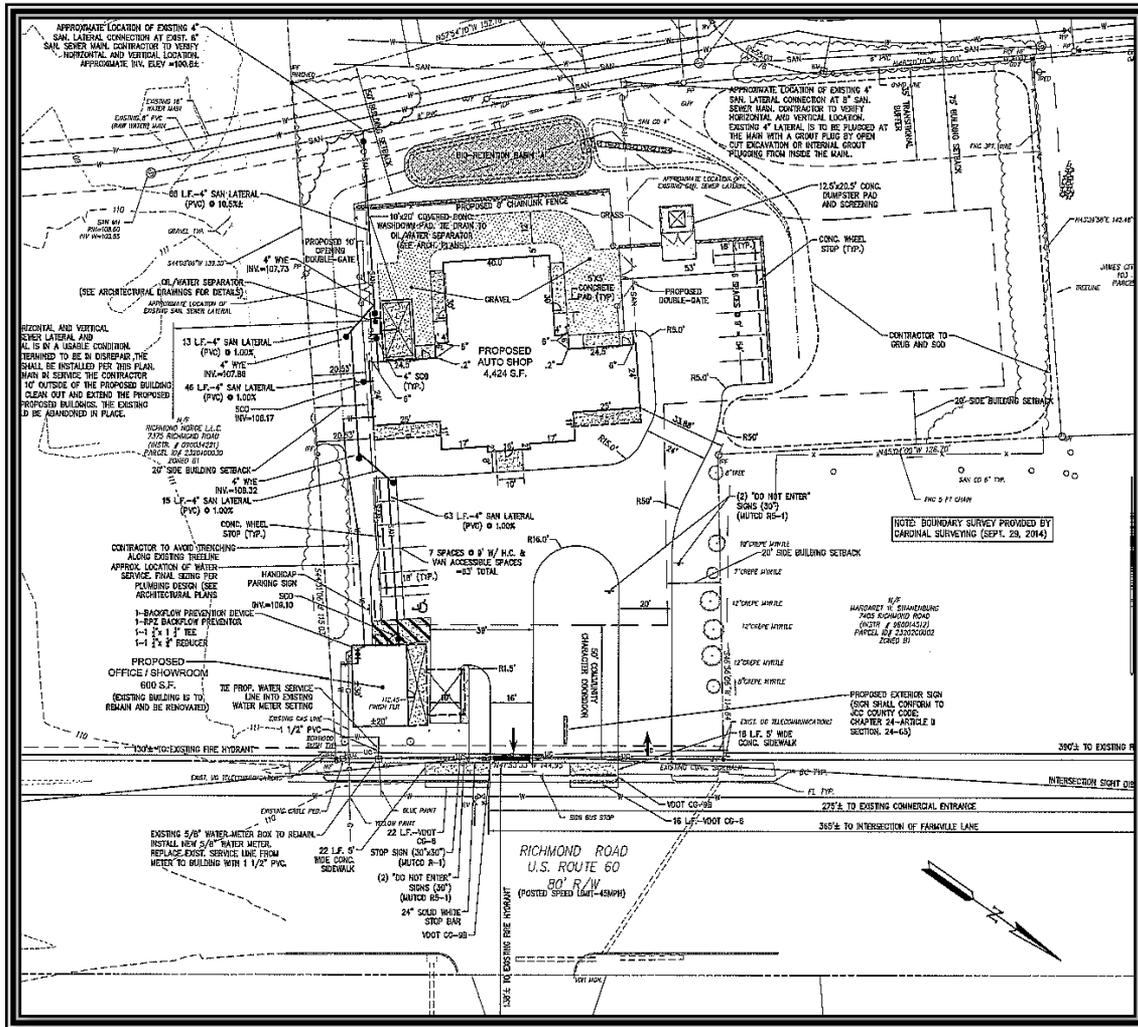
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CRETNEY SERVICE BUILDING

7381 RICHMOND RD., WILLIAMSBURG, VA 23188

HOPKE & ASSOCIATES INC. PROJECT NO. 34045

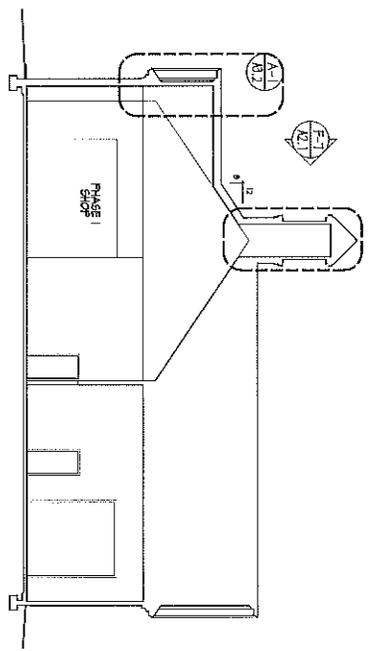


F-3 SCHEMATIC RENDERING

NOT FOR CONSTRUCTION

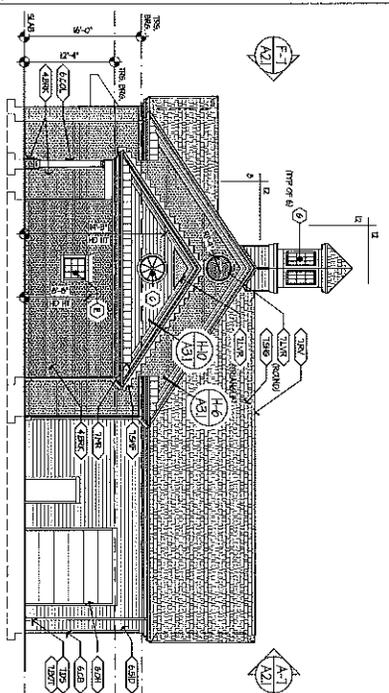
NO SCALE

ABBREVIATIONS	DEFINITIONS
AC	ACCORDING TO
AD	AS SHOWN
AG	AGREEMENT
AL	ALUMINUM
AN	ANNEALING
AP	APPROXIMATE
AS	AS SHOWN
AT	AS NOTED
AV	AUTOMATIC VALVE
AW	AWNING
AX	AXIS
BA	BATH
BB	BENCH MARK
BC	BUILDING CODE
BD	BUILDING DETAIL
BE	BEST PRACTICE
BF	BEST FINISH
BH	BUILDING HEIGHT
BI	BUILDING INFORMATION SYSTEM (BIM)
BJ	BUILDING JUNCTION
BK	BUILDING KITCHEN
BL	BUILDING LAYOUT
BM	BUILDING MATERIAL
BN	BUILDING NUMBER
BO	BUILDING OUTLINE
BP	BUILDING PLAN
BQ	BUILDING QUANTITY
BR	BUILDING RATIO
BS	BUILDING SECTION
BT	BUILDING TYPE
BU	BUILDING UNIT
BV	BUILDING VOLUME
BW	BUILDING WALL
BX	BUILDING EXTERIOR
BY	BUILDING YIELD
BZ	BUILDING ZONE
CA	CANOPY
CB	CANISTER
CC	CANISTER COVER
CD	CANISTER DETAIL
CE	CANISTER ELEVATION
CF	CANISTER FINISH
CG	CANISTER GLASS
CH	CANISTER HANDLE
CI	CANISTER IDENTIFICATION
CJ	CANISTER JUNCTION
CK	CANISTER KITCHEN
CL	CANISTER LAYOUT
CM	CANISTER MATERIAL
CN	CANISTER NUMBER
CO	CANISTER OUTLINE
CP	CANISTER PLAN
CQ	CANISTER QUANTITY
CR	CANISTER RATIO
CS	CANISTER SECTION
CT	CANISTER TYPE
CU	CANISTER UNIT
CV	CANISTER VOLUME
CW	CANISTER WALL
CX	CANISTER EXTERIOR
CY	CANISTER YIELD
CZ	CANISTER ZONE
DA	DRAWING AREA
DB	DRAWING BOUNDARY
DC	DRAWING CENTERLINE
DD	DRAWING DIMENSION
DE	DRAWING DETAIL
DF	DRAWING ELEVATION
DG	DRAWING FINISH
DH	DRAWING IDENTIFICATION
DI	DRAWING JUNCTION
DJ	DRAWING KITCHEN
DK	DRAWING LAYOUT
DL	DRAWING MATERIAL
DM	DRAWING NUMBER
DN	DRAWING OUTLINE
DO	DRAWING PLAN
DP	DRAWING QUANTITY
DQ	DRAWING RATIO
DR	DRAWING SECTION
DS	DRAWING TYPE
DT	DRAWING UNIT
DU	DRAWING VOLUME
DV	DRAWING WALL
DW	DRAWING EXTERIOR
DX	DRAWING YIELD
DY	DRAWING ZONE
EA	ELEVATION AREA
EB	ELEVATION BOUNDARY
EC	ELEVATION CENTERLINE
ED	ELEVATION DIMENSION
EE	ELEVATION DETAIL
EF	ELEVATION ELEVATION
EG	ELEVATION FINISH
EH	ELEVATION IDENTIFICATION
EI	ELEVATION JUNCTION
EJ	ELEVATION KITCHEN
EK	ELEVATION LAYOUT
EL	ELEVATION MATERIAL
EM	ELEVATION NUMBER
EN	ELEVATION OUTLINE
EO	ELEVATION PLAN
EP	ELEVATION QUANTITY
EQ	ELEVATION RATIO
ER	ELEVATION SECTION
ES	ELEVATION TYPE
ET	ELEVATION UNIT
EU	ELEVATION VOLUME
EV	ELEVATION WALL
EW	ELEVATION EXTERIOR
EX	ELEVATION YIELD
EY	ELEVATION ZONE
FA	FLOOR AREA
FB	FLOOR BOUNDARY
FC	FLOOR CENTERLINE
FD	FLOOR DIMENSION
FE	FLOOR DETAIL
FF	FLOOR ELEVATION
FG	FLOOR FINISH
FH	FLOOR IDENTIFICATION
FI	FLOOR JUNCTION
FJ	FLOOR KITCHEN
FK	FLOOR LAYOUT
FL	FLOOR MATERIAL
FM	FLOOR NUMBER
FN	FLOOR OUTLINE
FO	FLOOR PLAN
FP	FLOOR QUANTITY
FO	FLOOR RATIO
FR	FLOOR SECTION
FS	FLOOR TYPE
FT	FLOOR UNIT
FU	FLOOR VOLUME
FV	FLOOR WALL
FW	FLOOR EXTERIOR
FX	FLOOR YIELD
FY	FLOOR ZONE
GA	GARAGE
GB	GARAGE BOUNDARY
GC	GARAGE CENTERLINE
GD	GARAGE DIMENSION
GE	GARAGE DETAIL
GF	GARAGE ELEVATION
GG	GARAGE FINISH
GH	GARAGE IDENTIFICATION
GI	GARAGE JUNCTION
GJ	GARAGE KITCHEN
GK	GARAGE LAYOUT
GL	GARAGE MATERIAL
GM	GARAGE NUMBER
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GP	GARAGE QUANTITY
GO	GARAGE RATIO
GR	GARAGE SECTION
GS	GARAGE TYPE
GT	GARAGE UNIT
GU	GARAGE VOLUME
GV	GARAGE WALL
GW	GARAGE EXTERIOR
GX	GARAGE YIELD
GY	GARAGE ZONE
HA	HALL AREA
HB	HALL BOUNDARY
HC	HALL CENTERLINE
HD	HALL DIMENSION
HE	HALL DETAIL
HF	HALL ELEVATION
HG	HALL FINISH
HH	HALL IDENTIFICATION
HI	HALL JUNCTION
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HO	HALL RATIO
HR	HALL SECTION
HS	HALL TYPE
HT	HALL UNIT
HU	HALL VOLUME
HV	HALL WALL
HW	HALL EXTERIOR
HX	HALL YIELD
HY	HALL ZONE
IA	INTERIOR AREA
IB	INTERIOR BOUNDARY
IC	INTERIOR CENTERLINE
ID	INTERIOR DIMENSION
IE	INTERIOR DETAIL
IF	INTERIOR ELEVATION
IG	INTERIOR FINISH
IH	INTERIOR IDENTIFICATION
II	INTERIOR JUNCTION
IJ	INTERIOR KITCHEN
IK	INTERIOR LAYOUT
IL	INTERIOR MATERIAL
IM	INTERIOR NUMBER
IN	INTERIOR OUTLINE
IO	INTERIOR PLAN
IP	INTERIOR QUANTITY
IO	INTERIOR RATIO
IR	INTERIOR SECTION
IS	INTERIOR TYPE
IT	INTERIOR UNIT
IU	INTERIOR VOLUME
IV	INTERIOR WALL
IW	INTERIOR EXTERIOR
IX	INTERIOR YIELD
IY	INTERIOR ZONE
JA	JUNCTION AREA
JB	JUNCTION BOUNDARY
JC	JUNCTION CENTERLINE
JD	JUNCTION DIMENSION
JE	JUNCTION DETAIL
JF	JUNCTION ELEVATION
JG	JUNCTION FINISH
JH	JUNCTION IDENTIFICATION
JI	JUNCTION JUNCTION
JJ	JUNCTION KITCHEN
JK	JUNCTION LAYOUT
JL	JUNCTION MATERIAL
JM	JUNCTION NUMBER
JN	JUNCTION OUTLINE
JO	JUNCTION PLAN
JP	JUNCTION QUANTITY
JO	JUNCTION RATIO
JR	JUNCTION SECTION
JS	JUNCTION TYPE
JT	JUNCTION UNIT
JU	JUNCTION VOLUME
JV	JUNCTION WALL
JW	JUNCTION EXTERIOR
JX	JUNCTION YIELD
JY	JUNCTION ZONE
KA	KITCHEN AREA
KB	KITCHEN BOUNDARY
KC	KITCHEN CENTERLINE
KD	KITCHEN DIMENSION
KE	KITCHEN DETAIL
KF	KITCHEN ELEVATION
KG	KITCHEN FINISH
KH	KITCHEN IDENTIFICATION
KI	KITCHEN JUNCTION
KJ	KITCHEN KITCHEN
KK	KITCHEN LAYOUT
KL	KITCHEN MATERIAL
KM	KITCHEN NUMBER
KN	KITCHEN OUTLINE
KO	KITCHEN PLAN
KP	KITCHEN QUANTITY
KO	KITCHEN RATIO
KR	KITCHEN SECTION
KS	KITCHEN TYPE
KT	KITCHEN UNIT
KU	KITCHEN VOLUME
KV	KITCHEN WALL
KW	KITCHEN EXTERIOR
KX	KITCHEN YIELD
KY	KITCHEN ZONE
LA	LANDSCAPE AREA
LB	LANDSCAPE BOUNDARY
LC	LANDSCAPE CENTERLINE
LD	LANDSCAPE DIMENSION
LE	LANDSCAPE DETAIL
LF	LANDSCAPE ELEVATION
LG	LANDSCAPE FINISH
LH	LANDSCAPE IDENTIFICATION
LI	LANDSCAPE JUNCTION
LJ	LANDSCAPE KITCHEN
LK	LANDSCAPE LAYOUT
LL	LANDSCAPE MATERIAL
LM	LANDSCAPE NUMBER
LN	LANDSCAPE OUTLINE
LO	LANDSCAPE PLAN
LP	LANDSCAPE QUANTITY
LO	LANDSCAPE RATIO
LR	LANDSCAPE SECTION
LS	LANDSCAPE TYPE
LT	LANDSCAPE UNIT
LU	LANDSCAPE VOLUME
LV	LANDSCAPE WALL
LW	LANDSCAPE EXTERIOR
LX	LANDSCAPE YIELD
LY	LANDSCAPE ZONE
MA	MATERIAL AREA
MB	MATERIAL BOUNDARY
MC	MATERIAL CENTERLINE
MD	MATERIAL DIMENSION
ME	MATERIAL DETAIL
MF	MATERIAL ELEVATION
MG	MATERIAL FINISH
MH	MATERIAL IDENTIFICATION
MI	MATERIAL JUNCTION
MJ	MATERIAL KITCHEN
MK	MATERIAL LAYOUT
ML	MATERIAL MATERIAL
MM	MATERIAL NUMBER
MN	MATERIAL OUTLINE
MO	MATERIAL PLAN
MP	MATERIAL QUANTITY
MO	MATERIAL RATIO
MR	MATERIAL SECTION
MS	MATERIAL TYPE
MT	MATERIAL UNIT
MU	MATERIAL VOLUME
MV	MATERIAL WALL
MW	MATERIAL EXTERIOR
MX	MATERIAL YIELD
MY	MATERIAL ZONE
NA	NOT APPLICABLE
NB	NOT BOUNDARY
NC	NOT CENTERLINE
ND	NOT DIMENSION
NE	NOT DETAIL
NF	NOT ELEVATION
NG	NOT FINISH
NH	NOT IDENTIFICATION
NI	NOT JUNCTION
NJ	NOT KITCHEN
NK	NOT LAYOUT
NL	NOT MATERIAL
NM	NOT NUMBER
NO	NOT OUTLINE
NP	NOT PLAN
NP	NOT QUANTITY
NO	NOT RATIO
NR	NOT SECTION
NS	NOT TYPE
NT	NOT UNIT
NU	NOT VOLUME
NV	NOT WALL
NW	NOT EXTERIOR
NX	NOT YIELD
NY	NOT ZONE
OA	OPEN AREA
OB	OPEN BOUNDARY
OC	OPEN CENTERLINE
OD	OPEN DIMENSION
OE	OPEN DETAIL
OF	OPEN ELEVATION
OG	OPEN FINISH
OH	OPEN IDENTIFICATION
OI	OPEN JUNCTION
OJ	OPEN KITCHEN
OK	OPEN LAYOUT
OL	OPEN MATERIAL
OM	OPEN NUMBER
ON	OPEN OUTLINE
OO	OPEN PLAN
OP	OPEN QUANTITY
OO	OPEN RATIO
OR	OPEN SECTION
OS	OPEN TYPE
OT	OPEN UNIT
OU	OPEN VOLUME
OV	OPEN WALL
OW	OPEN EXTERIOR
OX	OPEN YIELD
OY	OPEN ZONE
PA	PARTIAL AREA
PB	PARTIAL BOUNDARY
PC	PARTIAL CENTERLINE
PD	PARTIAL DIMENSION
PE	PARTIAL DETAIL
PF	PARTIAL ELEVATION
PG	PARTIAL FINISH
PH	PARTIAL IDENTIFICATION
PI	PARTIAL JUNCTION
PJ	PARTIAL KITCHEN
PK	PARTIAL LAYOUT
PL	PARTIAL MATERIAL
PM	PARTIAL NUMBER
PN	PARTIAL OUTLINE
PO	PARTIAL PLAN
PP	PARTIAL QUANTITY
PO	PARTIAL RATIO
PR	PARTIAL SECTION
PS	PARTIAL TYPE
PT	PARTIAL UNIT
PU	PARTIAL VOLUME
PV	PARTIAL WALL
PW	PARTIAL EXTERIOR
PX	PARTIAL YIELD
PY	PARTIAL ZONE
QA	QUALITY AREA
QB	QUALITY BOUNDARY
QC	QUALITY CENTERLINE
QD	QUALITY DIMENSION
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QF	QUALITY ELEVATION
QG	QUALITY FINISH
QH	QUALITY IDENTIFICATION
QI	QUALITY JUNCTION
QJ	QUALITY KITCHEN
QK	QUALITY LAYOUT
QL	QUALITY MATERIAL
QM	QUALITY NUMBER
QN	QUALITY OUTLINE
QO	QUALITY PLAN
QP	QUALITY QUANTITY
QO	QUALITY RATIO
QR	QUALITY SECTION
QS	QUALITY TYPE
QT	QUALITY UNIT
QU	QUALITY VOLUME
QV	QUALITY WALL
QW	QUALITY EXTERIOR
QX	QUALITY YIELD
QY	QUALITY ZONE
RA	RATIO AREA
RB	RATIO BOUNDARY
RC	RATIO CENTERLINE
RD	RATIO DIMENSION
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RF	RATIO ELEVATION
RG	RATIO FINISH
RH	RATIO IDENTIFICATION
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RS	RATIO TYPE
RT	RATIO UNIT
RU	RATIO VOLUME
RV	RATIO WALL
RW	RATIO EXTERIOR
RX	RATIO YIELD
RY	RATIO ZONE
SA	SECTION AREA
SB	SECTION BOUNDARY
SC	SECTION CENTERLINE
SD	SECTION DIMENSION
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SF	SECTION ELEVATION
SG	SECTION FINISH
SH	SECTION IDENTIFICATION
SI	SECTION JUNCTION
SJ	SECTION KITCHEN
SK	SECTION LAYOUT
SL	SECTION MATERIAL
SM	SECTION NUMBER
SN	SECTION OUTLINE
SO	SECTION PLAN
SP	SECTION QUANTITY
SO	SECTION RATIO
SR	SECTION SECTION
SS	SECTION TYPE
ST	SECTION UNIT
SU	SECTION VOLUME
SV	SECTION WALL
SW	SECTION EXTERIOR
SX	SECTION YIELD
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TA	TABLE AREA
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TT	TABLE UNIT
TU	TABLE VOLUME
TV	TABLE WALL
TW	TABLE EXTERIOR
TX	TABLE YIELD
TY	TABLE ZONE
UA	UNIT AREA
UB	UNIT BOUNDARY
UC	UNIT CENTERLINE
UD	UNIT DIMENSION
UE	UNIT DETAIL
UF	UNIT ELEVATION
UG	UNIT FINISH
UH	UNIT IDENTIFICATION
UI	UNIT JUNCTION
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UK	UNIT LAYOUT
UL	UNIT MATERIAL
UM	UNIT NUMBER
UN	UNIT OUTLINE
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UP	UNIT QUANTITY
UO	UNIT RATIO
UR	UNIT SECTION
US	UNIT TYPE
UT	UNIT UNIT
UU	UNIT VOLUME
UV	UNIT WALL
UW	UNIT EXTERIOR
UX	UNIT YIELD
UY	UNIT ZONE
VA	VOLUME AREA



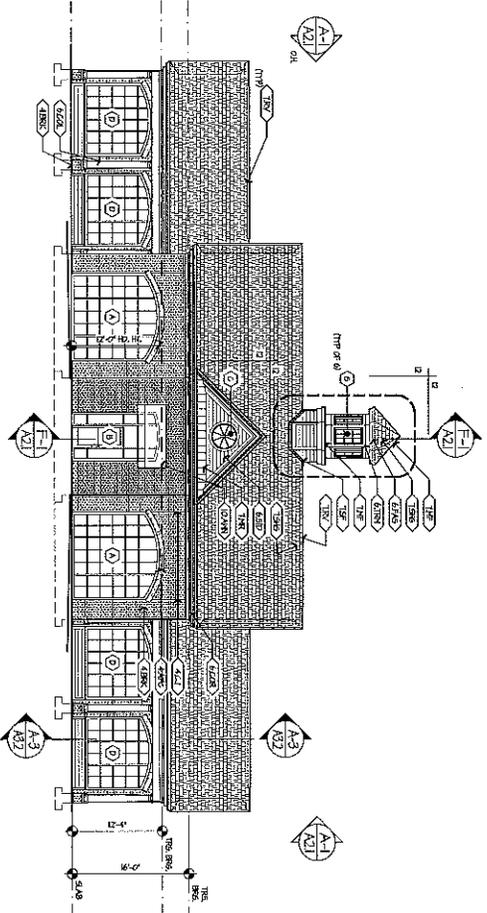
F-1 CENTER BUILDING SECTION

SCALE: 1/8" = 1'-0"



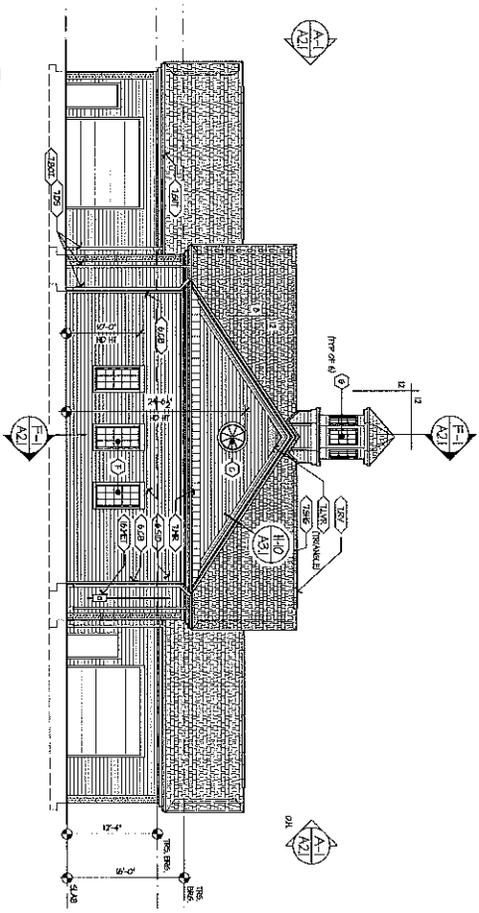
A-1 RIGHT ELEVATION- LEFT ELEVATION SIM

SCALE: 1/8" = 1'-0"



F-1 FRONT ELEVATION

SCALE: 1/8" = 1'-0"

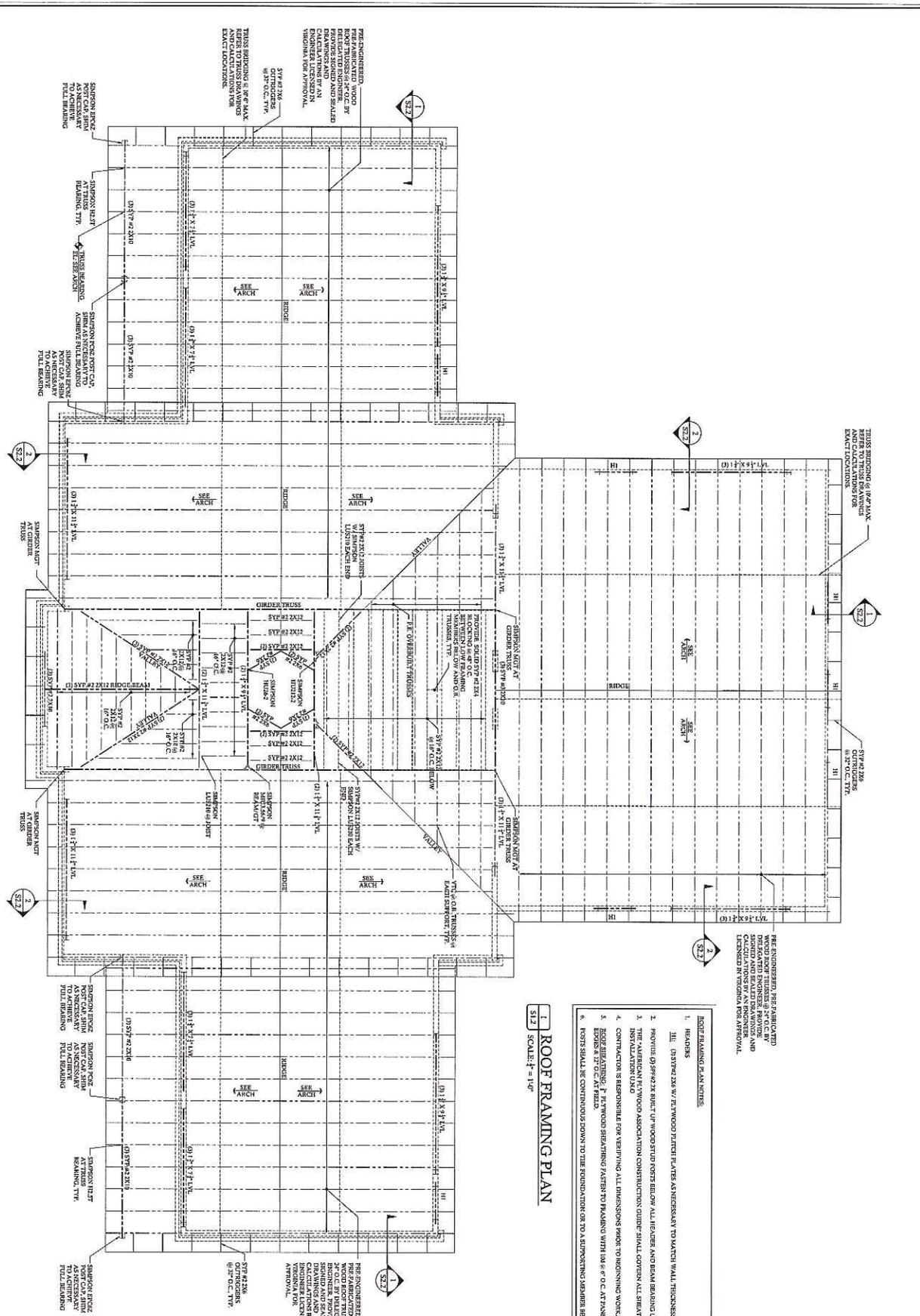


A-1 REAR ELEVATION

SCALE: 1/8" = 1'-0"

- MINIMUMS SETTING: A-1: ELEVATION
- DIVISION 4: ROOFING
- 4.01 ASPHALT/FLY ASH GUTTER
- 4.02 METAL ROOFING
- 4.03 METAL FLASHING
- 4.04 METAL FLASHING
- 4.05 METAL FLASHING
- 4.06 METAL FLASHING
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- 4.98 METAL FLASHING
- 4.99 METAL FLASHING
- 4.100 METAL FLASHING

OWNER REVIEW SET
 Date: 03/11/2016
 Project Name: CRIBNEY SERVICES BUILDING
 Project Address: WICKLIFFSBURG, VA 23188
 Project No: 34045
 HOPE & ASSOCIATES, INC.
 ARCHITECTURE & INTERIORS
 1155 Commonwealth Bank & Trust Co.
 71725 N. 110th Parkway
 72722-8888 Potomac
 703-464-4444
 Project No: 34045
 Sheet: A-21
 5 of 6

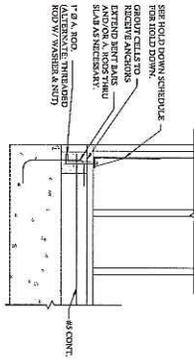


- ROOF FRAMING PLAN NOTES**
1. HEADERS
 2. THE 1/2" x 3/4" x 2" W/ 1/2" WOOD JOIST PLAYS AS NECESSARY TO MATCH WALL THICKNESS.
 3. PROVIDE 8" x 8" x 2" BUILT UP WOOD STUD PERS BELOW ALL HEADER AND BEAM BEARING LUGS.
 4. THE "AMERICAN WOOD ASSOCIATION CONSTRUCTION GUIDE" SHALL GOVERN ALL BRACING INSTALLATION UNLESS OTHERWISE NOTED.
 5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO BEGINNING WORK.
 6. ROOF BRACING: F PLATEWOOD BRACING FASTEN TO FRAMING WITH 1/4" x 6" O.C. AT WALL, EDGES & 1/2" O.C. IN FIELD.
 7. NOTES SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR TO A SUPPORTING MEMBER BELOW.

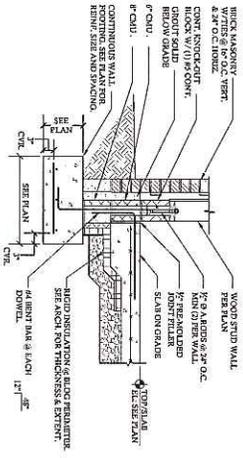
1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

FINAL OWNER REVIEW SET

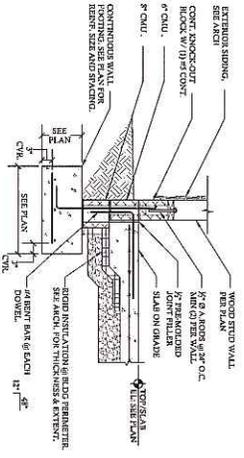
<p>S1.2</p>	<p>ROOF FRAMING PLAN</p>	<p>PROJECT # 15188 DATE 03.03.16 DESIGN JRS REVIEW JRS</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NUMBER</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>Δ</td> <td></td> </tr> <tr> <td>Δ</td> <td></td> </tr> <tr> <td>Δ</td> <td></td> </tr> </tbody> </table>	NUMBER	DATE	Δ		Δ		Δ		<p>CRETNEY GARAGE 7381 RICHMOND RD WILLIAMSBURG VA 23188</p>	<p>106 SOUTH STREET #203 CHARLOTTEVILLE, VA 22902 SCHNITZHOFFER STRUCTURAL ENGINEERS 434.220.1035 SCHNITZHOFFERANDASSOC.COM</p>	<p>03.03.2016 JAMES R. SCHNITZHOFFER Lic. No. 439710 Professional Engineer Structural Virginia</p>	<p>© SCHNITZHOFFER & ASSOCIATES, LLC ALL RIGHTS RESERVED</p>
NUMBER	DATE														
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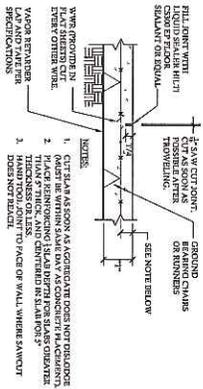
S2.1 SHEAR WALL ANCHOR DETAIL
SCALE: 3/4" = 1'-0"



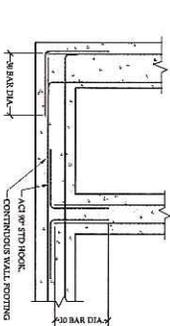
S2.2 FOUNDATION WALL AT BRICK VENEER
SCALE: 3/4" = 1'-0"



S2.3 FOUNDATION WALL AT SIDING
SCALE: 3/4" = 1'-0"



S2.4 CONTRACTION JOINT
SCALE: 3/4" = 1'-0"



S2.5 FOOTING REINFORCEMENT SPLICE DETAIL
SCALE: 3/4" = 1'-0"

REINFORCEMENT COVER SCHEDULE	
CAST-IN-PLACE CONCRETE (uncompressed)	MINIMUM COVER (in)
CONCRETE CAST AGAINST EXISTING CONCRETE	3
CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	1 1/2
CONCRETE IN CONTACT WITH GROUND	1 1/2
SLAB WALL JOINTS AND ANCHORS	1 1/2
STEEL CHAINS, SHORTS, BRACKETS, AND OTHER DETAILS	1 1/2

S2.1 REINFORCEMENT COVER SCHEDULE
SCALE: 3/4" = 1'-0"

FINAL OWNER REVIEW SET

<p>CRETNEY GARAGE 7381 RICHMOND RD WILLIAMSBURG VA 23188</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NUMBER</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>Δ</td> <td></td> </tr> <tr> <td>Δ</td> <td></td> </tr> <tr> <td>Δ</td> <td></td> </tr> </tbody> </table>	NUMBER	DATE	Δ		Δ		Δ		<p>PROJECT # 15-188 DATE 03.01.16 DESIGN JRS REVIEW JRS</p>	<p>FOUNDATION DETAILS</p> <p>S2.1</p>	<p>106 SOUTH STREET #203 CHARLOTTESVILLE, VA 22902 SCHNITZHOFFER STRUCTURAL ENGINEERS 434.220.1035 SCHNITZHOFFERANDASSOC.COM</p>	<p>03.03.2016 JAMES R. SCHNITZHOFFER Lic. No. 42910 Professional Engineer State of Virginia</p>	<p>© SCHNITZHOFFER & ASSOCIATES, LLC ALL RIGHTS RESERVED</p>
		NUMBER	DATE											
Δ														
Δ														
Δ														
<p>REVISIONS</p>														

7381 Richmond Road, Williamsburg, Virginia



The property is outlined in blue and highlighted in yellow.
For illustration purposes only.

*This information was obtained from sources deemed to be reliable but is not warranted.
This offer subject to errors and omissions, or withdrawal, without notice.*

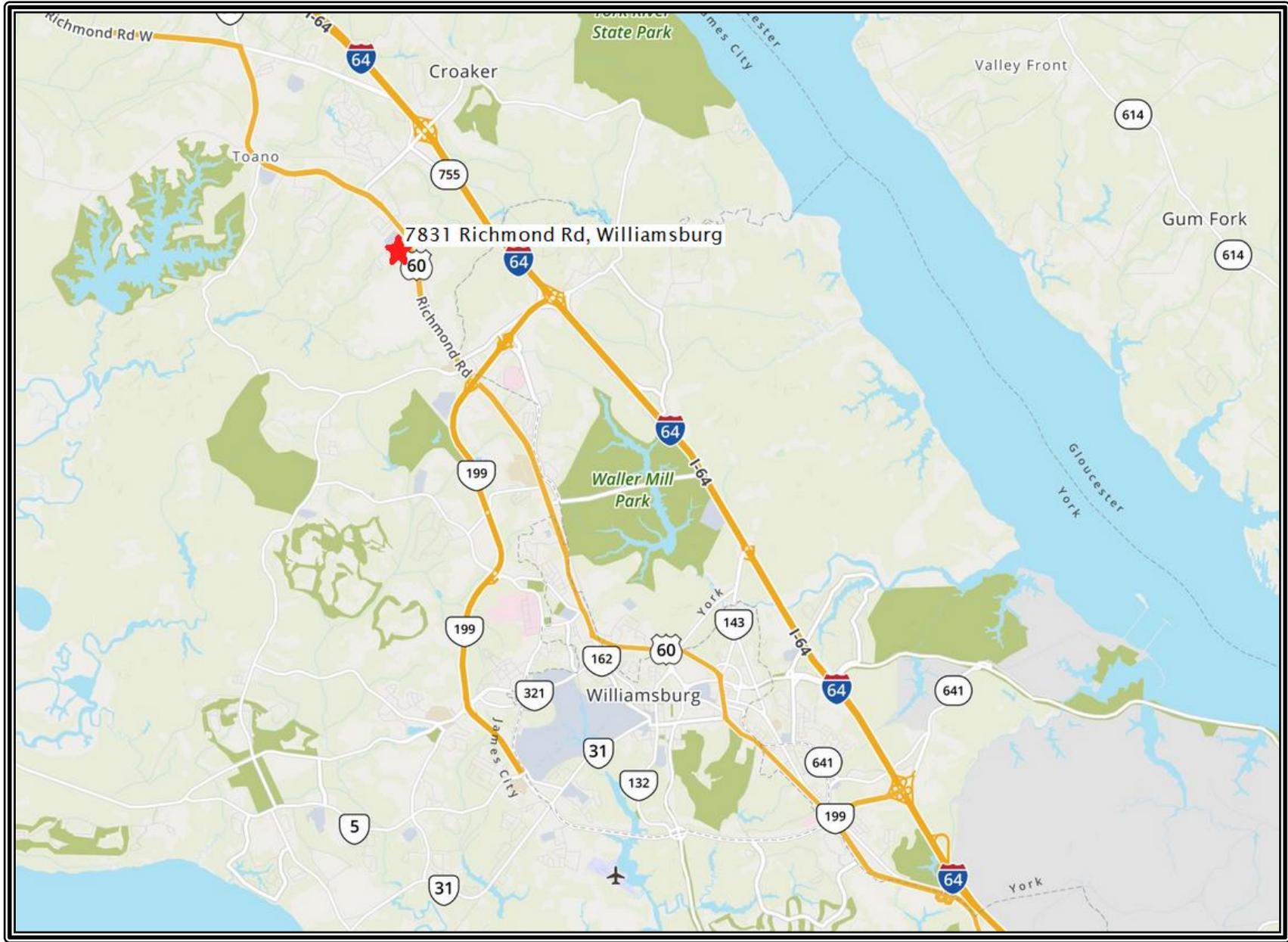
**Campana
Waltz**
Commercial Real Estate, LLC

7381 Richmond Road, Williamsburg, Virginia



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7381 Richmond Road, Williamsburg, Virginia



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Sec. 24-390. - Use list.

Reference section 24-11 for special use permit requirements for certain commercial uses and exemptions.

In the General Business District, B-1, structures to be erected or land to be used, shall be for one or more of the following uses:

Use Category	Use List	Permitted Uses	Specially Permitted Uses
Residential	An apartment or living quarters for a guard, caretaker, proprietor or the person employed on the premises, which is clearly secondary to the commercial use of the property	P	
Commercial	Accessory uses and structures, as defined in section 24-2	P	
	Adult day care centers	P	
	Amphitheaters		SUP
	Antique shops	P	
	Arts and crafts, hobby and handicraft shops	P	
	Auction houses	P	
	Bakeries or fish markets	P	
	Banks and other financial institutions	P	
	Barber and beauty salons	P	
	Business and professional offices	P	
	Campgrounds		SUP
	Catering and meal preparation	P	
	Child day care centers	P	

	Contractor offices (with storage of materials and equipment limited to a fully enclosed building)	P	
	Convenience stores which sell and dispense fuel in accordance with section 24-38		SUP
	Convention centers		SUP
	Country clubs and golf courses, public or private		SUP
	Drug stores	P	
	Dry cleaners and laundries	P	
	Farmer's market	P	
	Feed, seed and farm supply stores	P	
	Firearms sales and service	P	
	Firing and shooting ranges, limited to a fully enclosed building		SUP
	Flea markets		SUP
	Funeral homes	P	
	Gift and souvenir stores	P	
	Grocery stores	P	
	Health and exercise clubs, fitness centers	P	
	Heliports and helistops, as an accessory use		SUP
	Hospitals		SUP
	Hotels and motels	P	
	Indoor centers of amusement including billiard halls, arcades, pool rooms, bowling alleys, dance clubs and bingo halls	P	

	Indoor sport facilities (excluding firing and shooting ranges)	P	
	Indoor theaters	P	
	Janitorial service establishments	P	
	Kennels and animal boarding facilities	P	
	Limousine services (with maintenance limited to a fully enclosed building)	P	
	Lodges, civic clubs, fraternal organizations and service clubs	P	
	Lumber and building supply (with storage limited to a fully enclosed building or screened from view with landscaping and fencing with a maximum height of 12 feet)	P	
	Machinery sales and service (with storage and repair limited to a fully enclosed building)	P	
	Marinas, docks, piers, yacht clubs, boat basins, boat storage and servicing, repair and sale facilities for the same; if fuel is sold, then in accordance with section 24-38	P	
	Marine or waterfront businesses to include the receipt, storage and transshipment of waterborne commerce or seafood receiving, packaging or distribution	P	
	Medical clinics or offices	P	
	Mobile food vending vehicles in accordance with Section 24-49	P	
	Museums	P	
	New and/or rebuilt automotive parts sales (with storage limited to a fully enclosed building)	P	
	Nursing homes		SUP
	Off-street parking as required by article II, division 2 of this	P	

	chapter		
	Office supply stores	P	
	Outdoor centers of amusement, including miniature golf, bumper boats and waterslide parks		SUP
	Outdoor sports facilities, including golf driving ranges, batting cages and skate parks		SUP
	Parking lots, structures or garages	P	
	Pet stores and pet supply sales	P	
	Photography, artist and sculptor stores and studios	P	
	Plumbing and electrical supply and sales (with storage limited to a fully enclosed building)	P	
	Printing, mailing, lithographing, engraving, photocopying, blueprinting and publishing establishments	P	
	Radio and television stations and accessory antenna or towers which are 60 feet or less in height	P	
	Research, development and design facilities or laboratories	P	
	Restaurants, including fast food restaurants, tea rooms, coffee shops, and taverns	P	
	Retail and service stores, including the following stores: alcohol, appliances, books, cabinets, cameras, candy, carpet, coin, department, dressmaking, electronics, florist, furniture, furrier, garden supply, gift, gourmet foods, greeting cards, handicrafts, hardware, home appliance, health and beauty aids, ice cream, jewelry, locksmith, music, office supply, optical goods, paint, pet, photography, picture framing, plant supply, secretarial services, shoes, sporting goods, stamps, tailor, tobacco and pipes, toys, travel agencies, upholstery, variety, wearing apparel, and yard goods	P	

	Retail food stores	P	
	Security service offices	P	
	Small-scale alcohol production	P	
	Taxi service	P	
	Theme parks greater than 10 acres in size		SUP
	Tourist homes	P	
	Vehicle repair and service, including tire, transmission, glass, body and fender, and other automotive product sales, new and/or rebuilt (with major repair limited to a fully enclosed building and storage of parts and vehicles screened from adjacent property by landscaping and fencing)	P	
	Vehicle and trailer sales and services (with major repair limited to a fully enclosed building)	P	
	Vehicle rentals	P	
	Vehicle service stations; if fuel is sold, then in accordance with section 24-38		SUP
	Veterinary hospitals (with all activities limited to a fully enclosed building with the exception of supervised animal exercise while on a leash)	P	
	Wholesale and warehousing (with storage limited to a fully enclosed building)	P	
Civic	Fire stations	P	
	Governmental offices	P	
	Libraries	P	
	Nonemergency medical transport		SUP

	Places of public assembly	P	
	Post offices	P	
	Schools		SUP
Utility	Communications facilities (public or private), including, but not limited to, antennas, towers and support structures up to a height of 40 feet; or multi-antenna systems up to a height of 60 feet. All facilities shall comply with article II, division 6 of this chapter.	P	
	Communications facilities (public or private), including, but not limited to, antennas, towers and support structures greater than a height of 40 feet; or multi-antenna systems greater than a height of 60 feet. All facilities comply with article II, division 6 of this chapter.		SUP
	Communications facilities (public or private), including, but not limited to, antennas, towers and support structures, that utilize alternative mounting structures and/or are camouflaged. All facilities shall comply with article II, division 6 of this chapter.	P	
	Electrical generation facilities (public or private), steam generation facilities, and electrical substations with a capacity of 5,000 kilovolt amperes or more and electrical transmission lines capable of transmitting 69 kilovolts or more		SUP
	Railroad facilities including tracks, bridges and stations. Spur lines which are to serve and are accessory to existing or proposed development adjacent to existing railroad rights-of-way and track and safety improvements in existing railroad rights-of-way, are permitted generally and shall not require a special use permit		SUP
	Telephone exchanges and telephone switching stations	P	
	Transmission pipelines, public or private, including pumping stations and accessory storage, for natural gas, propane gas, petroleum products, chemicals, slurry coal and any other gases, liquids or solids. Extensions for private connections to existing		SUP

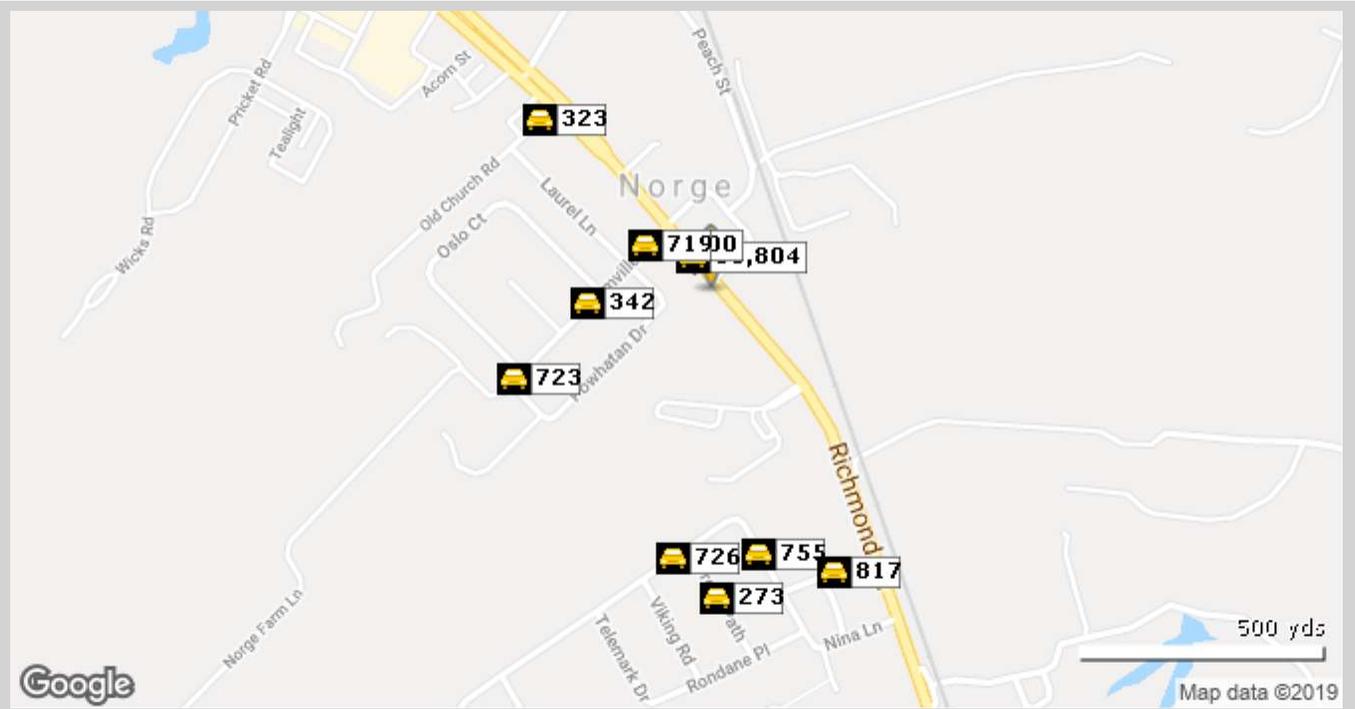
	pipelines, which are intended to serve an individual residential or commercial customer and which are accessory to existing or proposed development, are permitted generally and shall not require a special use permit		
	Water facilities, public or private, and sewer facilities (public), including, but not limited to, treatment plants, pumping stations, storage facilities and transmission mains, wells and associated equipment such as pumps to be owned and operated by political jurisdictions. However, the following are permitted generally and shall not require a special use permit:		SUP
	(a) Private connections to existing mains that are intended to serve an individual customer and that are accessory to existing or proposed development, with no additional connections to be made to the line; and		
	(b) Distribution lines and local facilities within a development, including pump stations		
Open	Timbering, in accordance with section 24-43	P	
Industrial Uses	Processing, assembly and manufacture of light industrial products or components, with all storage, processing, assembly and manufacture conducted indoors or under cover, with no dust, noise, odor or other objectionable effect.		SUP
	Waste disposal facilities		SUP

(Ord. No. 31A-88, § 20-82, 4-8-85; Ord. No. 31A-96, 4-7-86; Ord. No. 31A-102, 6-1-87; Ord. No. 31A-121, 5-21-90; Ord. No. 31A-143, 5-4-92; Ord. No. 31A -145, 7-6-92; Ord. No. 31A-167, 3-26-96; Ord. No. 31A-174, 1-28-97; Ord. No. 31A-176, 5-26-98; Ord. No. 31A-180, 9-8-98; Ord. No. 31A-236, 8-12-08; Ord. No. 31A-244, 2-9-10; Ord. No. 31A-262, 1-10-12; Ord. No. 31A-291, 8-13-13; Ord. No. [31A-298](#), 6-9-15; Ord. No. [31A-321](#), 11-8-16; Ord. No. [31A-332](#), 12-13-16)

Traffic Count Report

7381 Richmond Rd, Williamsburg, VA 23188

Building Type: **Hospitality**
 Class: -
 RBA: **6,800 SF**
 Typical Floor: **5,008 SF**
 Total Available: **0 SF**
 % Leased: **0%**
 Rent/SF/Yr: -



	Street	Cross Street	Cross Str Dist	Count Year	Avg Daily Volume	Volume Type	Miles from Subject Prop
1	Richmond Rd	Peninsula St	0.03 SE	2018	15,804	MPSI	.05
2	Farmville Ln	Richmond Rd	0.03 NE	2016	1,000	MPSI	.09
3	Farmville Ln	Laurel Ln	0.03 SW	2018	719	MPSI	.09
4	Farmville Ln	Oslo Ct	0.02 NE	2018	342	MPSI	.14
5	Farmville Ln	Powhatan Dr	0.01 SW	2018	723	MPSI	.25
6	Old Church Rd	Richmond Rd	0.02 NE	2018	323	MPSI	.29
7	Nina Ln	Kristiansand Dr	0.05 SE	2018	755	MPSI	.32
8	Nina Ln	Viking Rd	0.05 SW	2018	726	MPSI	.32
9	Troll's Path	Rondale	0.08 SE	2018	273	MPSI	.36
10	Kristiansand Dr	Richmond Rd	0.05 E	2018	817	MPSI	.36

Demographic Trend Report

1 Mile Radius

7381 Richmond Rd, Williamsburg, VA 23188

Building Type: **Hospitality**
 Class: -
 RBA: **6,800 SF**
 Typical Floor: **5,008 SF**

Total Available: **0 SF**
 % Leased: **0%**
 Rent/SF/Yr: -



Description	2010	2019	2024
Population	3,476	4,876	5,335
Age 0 - 4	166 4.78%	201 4.12%	232 4.35%
Age 5 - 9	149 4.29%	231 4.74%	241 4.52%
Age 10 - 14	178 5.12%	256 5.25%	265 4.97%
Age 15 - 19	149 4.29%	227 4.66%	272 5.10%
Age 20 - 24	126 3.62%	185 3.79%	249 4.67%
Age 25 - 29	173 4.98%	203 4.16%	231 4.33%
Age 30 - 34	156 4.49%	225 4.61%	236 4.42%
Age 35 - 39	193 5.55%	260 5.33%	262 4.91%
Age 40 - 44	196 5.64%	251 5.15%	279 5.23%
Age 45 - 49	216 6.21%	275 5.64%	292 5.47%
Age 50 - 54	232 6.67%	299 6.13%	309 5.79%
Age 55 - 59	305 8.77%	337 6.91%	335 6.28%
Age 60 - 64	339 9.75%	382 7.83%	370 6.94%
Age 65 - 69	363 10.44%	462 9.47%	418 7.84%
Age 70 - 74	261 7.51%	443 9.09%	439 8.23%
Age 75 - 79	151 4.34%	323 6.62%	390 7.31%
Age 80 - 84	71 2.04%	189 3.88%	274 5.14%
Age 85+	51 1.47%	125 2.56%	242 4.54%
Age 15+	2,982 85.79%	4,186 85.85%	4,598 86.19%
Age 20+	2,833 81.50%	3,959 81.19%	4,326 81.09%
Age 65+	897 25.81%	1,542 31.62%	1,763 33.05%
Median Age	51	52	52
Average Age	45.90	47.50	47.90
Population By Race	3,476	4,876	5,335
White	3,010 86.59%	4,173 85.58%	4,542 85.14%
Black	335 9.64%	475 9.74%	527 9.88%
Am. Indian & Alaskan	18 0.52%	31 0.64%	39 0.73%
Asian	44 1.27%	76 1.56%	92 1.72%
Hawaiian & Pacific Islander	0 0.00%	0 0.00%	0 0.00%
Other	67 1.93%	119 2.44%	135 2.53%

Demographic Trend Report

1 Mile Radius

7381 Richmond Rd, Williamsburg, VA 23188

Description	2010	2019	2024
Population by Race (Hispanic)	135	248	289
White	116 85.93%	206 83.06%	235 81.31%
Black	11 8.15%	24 9.68%	29 10.03%
Am. Indian & Alaskan	1 0.74%	4 1.61%	6 2.08%
Asian	0 0.00%	0 0.00%	0 0.00%
Hawaiian & Pacific Islander	0 0.00%	0 0.00%	0 0.00%
Other	7 5.19%	15 6.05%	18 6.23%
Household by Household Income	1,521	2,086	2,275
<\$25,000	240 15.78%	284 13.61%	304 13.36%
\$25,000 - \$50,000	422 27.74%	243 11.65%	241 10.59%
\$50,000 - \$75,000	396 26.04%	273 13.09%	267 11.74%
\$75,000 - \$100,000	199 13.08%	392 18.79%	438 19.25%
\$100,000 - \$125,000	51 3.35%	314 15.05%	366 16.09%
\$125,000 - \$150,000	135 8.88%	198 9.49%	216 9.49%
\$150,000 - \$200,000	75 4.93%	318 15.24%	368 16.18%
\$200,000+	3 0.20%	64 3.07%	75 3.30%
Average Household Income	\$66,306	\$97,436	\$100,009
Median Household Income	\$59,036	\$90,497	\$93,578

Demographic Summary Report

7381 Richmond Rd, Williamsburg, VA 23188

Building Type: **Hospitality** Total Available: **0 SF**
 Class: - % Leased: **0%**
 RBA: **6,800 SF** Rent/SF/Yr: -
 Typical Floor: **5,008 SF**



Radius	1 Mile	3 Mile	5 Mile
Population			
2024 Projection	5,335	12,552	33,363
2019 Estimate	4,876	11,486	31,258
2010 Census	3,476	8,164	26,687
Growth 2019 - 2024	9.41%	9.28%	6.73%
Growth 2010 - 2019	40.28%	40.69%	17.13%
2019 Population by Hispanic Origin	249	660	1,960
2019 Population	4,876	11,486	31,258
White	4,173 85.58%	9,046 78.76%	24,182 77.36%
Black	475 9.74%	1,843 16.05%	5,172 16.55%
Am. Indian & Alaskan	31 0.64%	55 0.48%	150 0.48%
Asian	76 1.56%	208 1.81%	736 2.35%
Hawaiian & Pacific Island	0 0.00%	5 0.04%	25 0.08%
Other	119 2.44%	328 2.86%	994 3.18%
U.S. Armed Forces	54	126	434
Households			
2024 Projection	2,276	4,863	13,113
2019 Estimate	2,087	4,463	12,315
2010 Census	1,521	3,237	10,687
Growth 2019 - 2024	9.06%	8.96%	6.48%
Growth 2010 - 2019	37.21%	37.87%	15.23%
Owner Occupied	1,775 85.05%	3,597 80.60%	9,191 74.63%
Renter Occupied	311 14.90%	865 19.38%	3,124 25.37%
2019 Households by HH Income	2,086	4,463	12,316
Income: <\$25,000	284 13.61%	708 15.86%	1,851 15.03%
Income: \$25,000 - \$50,000	243 11.65%	542 12.14%	2,110 17.13%
Income: \$50,000 - \$75,000	273 13.09%	593 13.29%	1,962 15.93%
Income: \$75,000 - \$100,000	392 18.79%	797 17.86%	2,026 16.45%
Income: \$100,000 - \$125,000	314 15.05%	578 12.95%	1,694 13.75%
Income: \$125,000 - \$150,000	198 9.49%	528 11.83%	1,051 8.53%
Income: \$150,000 - \$200,000	318 15.24%	495 11.09%	1,050 8.53%
Income: \$200,000+	64 3.07%	222 4.97%	572 4.64%
2019 Avg Household Income	\$97,436	\$96,489	\$89,344
2019 Med Household Income	\$90,497	\$87,186	\$77,900

Demographic Detail Report

7381 Richmond Rd, Williamsburg, VA 23188

Building Type: **Hospitality**
 Class: -
 RBA: **6,800 SF**
 Typical Floor: **5,008 SF**

Total Available: **0 SF**
 % Leased: **0%**
 Rent/SF/Yr: -



Radius	1 Mile		3 Mile		5 Mile	
Population						
2024 Projection	5,335		12,552		33,363	
2019 Estimate	4,876		11,486		31,258	
2010 Census	3,476		8,164		26,687	
Growth 2019 - 2024	9.41%		9.28%		6.73%	
Growth 2010 - 2019	40.28%		40.69%		17.13%	
2019 Population by Age						
	4,876		11,486		31,258	
Age 0 - 4	201	4.12%	564	4.91%	1,594	5.10%
Age 5 - 9	231	4.74%	659	5.74%	1,830	5.85%
Age 10 - 14	256	5.25%	751	6.54%	2,051	6.56%
Age 15 - 19	227	4.66%	683	5.95%	1,952	6.24%
Age 20 - 24	185	3.79%	562	4.89%	1,619	5.18%
Age 25 - 29	203	4.16%	572	4.98%	1,622	5.19%
Age 30 - 34	225	4.61%	585	5.09%	1,695	5.42%
Age 35 - 39	260	5.33%	664	5.78%	1,843	5.90%
Age 40 - 44	251	5.15%	662	5.76%	1,765	5.65%
Age 45 - 49	275	5.64%	750	6.53%	1,969	6.30%
Age 50 - 54	299	6.13%	829	7.22%	2,138	6.84%
Age 55 - 59	337	6.91%	862	7.50%	2,207	7.06%
Age 60 - 64	382	7.83%	824	7.17%	2,120	6.78%
Age 65 - 69	462	9.47%	830	7.23%	2,149	6.88%
Age 70 - 74	443	9.09%	706	6.15%	1,869	5.98%
Age 75 - 79	323	6.62%	490	4.27%	1,344	4.30%
Age 80 - 84	189	3.88%	287	2.50%	837	2.68%
Age 85+	125	2.56%	206	1.79%	653	2.09%
Age 65+	1,542	31.62%	2,519	21.93%	6,852	21.92%
Median Age	52.10		45.30		44.00	
Average Age	47.50		42.70		42.20	

Demographic Detail Report

7381 Richmond Rd, Williamsburg, VA 23188

Radius	1 Mile		3 Mile		5 Mile	
2019 Population By Race	4,876		11,486		31,258	
White	4,173	85.58%	9,046	78.76%	24,182	77.36%
Black	475	9.74%	1,843	16.05%	5,172	16.55%
Am. Indian & Alaskan	31	0.64%	55	0.48%	150	0.48%
Asian	76	1.56%	208	1.81%	736	2.35%
Hawaiian & Pacific Island	0	0.00%	5	0.04%	25	0.08%
Other	119	2.44%	328	2.86%	994	3.18%
Population by Hispanic Origin	4,876		11,486		31,258	
Non-Hispanic Origin	4,628	94.91%	10,826	94.25%	29,297	93.73%
Hispanic Origin	248	5.09%	661	5.75%	1,961	6.27%
2019 Median Age, Male	49.20		43.80		42.20	
2019 Average Age, Male	46.10		41.70		41.10	
2019 Median Age, Female	54.50		46.50		45.60	
2019 Average Age, Female	48.80		43.50		43.20	
2019 Population by Occupation Classification	4,141		9,376		25,395	
Civilian Employed	2,294	55.40%	5,223	55.71%	13,897	54.72%
Civilian Unemployed	95	2.29%	212	2.26%	498	1.96%
Civilian Non-Labor Force	1,703	41.13%	3,827	40.82%	10,597	41.73%
Armed Forces	49	1.18%	114	1.22%	403	1.59%
Households by Marital Status						
Married	1,225		2,637		7,083	
Married No Children	944		1,737		4,660	
Married w/Children	281		900		2,423	
2019 Population by Education	4,070		8,891		23,988	
Some High School, No Diploma	124	3.05%	520	5.85%	1,961	8.17%
High School Grad (Incl Equivalency)	608	14.94%	1,686	18.96%	5,139	21.42%
Some College, No Degree	1,205	29.61%	2,627	29.55%	6,279	26.18%
Associate Degree	295	7.25%	623	7.01%	1,776	7.40%
Bachelor Degree	1,161	28.53%	2,084	23.44%	5,342	22.27%
Advanced Degree	677	16.63%	1,351	15.20%	3,491	14.55%

Demographic Detail Report

7381 Richmond Rd, Williamsburg, VA 23188

Radius	1 Mile		3 Mile		5 Mile	
2019 Population by Occupation	4,122		9,551		25,303	
Real Estate & Finance	141	3.42%	204	2.14%	539	2.13%
Professional & Management	1,180	28.63%	2,724	28.52%	7,088	28.01%
Public Administration	174	4.22%	542	5.67%	1,252	4.95%
Education & Health	421	10.21%	1,112	11.64%	3,728	14.73%
Services	301	7.30%	722	7.56%	2,952	11.67%
Information	83	2.01%	105	1.10%	319	1.26%
Sales	614	14.90%	1,446	15.14%	3,365	13.30%
Transportation	50	1.21%	58	0.61%	129	0.51%
Retail	244	5.92%	647	6.77%	1,548	6.12%
Wholesale	100	2.43%	144	1.51%	211	0.83%
Manufacturing	200	4.85%	419	4.39%	962	3.80%
Production	259	6.28%	466	4.88%	996	3.94%
Construction	135	3.28%	422	4.42%	888	3.51%
Utilities	71	1.72%	180	1.88%	354	1.40%
Agriculture & Mining	1	0.02%	12	0.13%	196	0.77%
Farming, Fishing, Forestry	1	0.02%	11	0.12%	107	0.42%
Other Services	147	3.57%	337	3.53%	669	2.64%
2019 Worker Travel Time to Job	2,202		5,114		13,706	
<30 Minutes	1,415	64.26%	3,216	62.89%	8,934	65.18%
30-60 Minutes	503	22.84%	1,356	26.52%	3,660	26.70%
60+ Minutes	284	12.90%	542	10.60%	1,112	8.11%
2010 Households by HH Size	1,520		3,238		10,687	
1-Person Households	345	22.70%	640	19.77%	2,281	21.34%
2-Person Households	748	49.21%	1,366	42.19%	4,413	41.29%
3-Person Households	209	13.75%	548	16.92%	1,753	16.40%
4-Person Households	138	9.08%	425	13.13%	1,418	13.27%
5-Person Households	52	3.42%	167	5.16%	541	5.06%
6-Person Households	16	1.05%	56	1.73%	176	1.65%
7 or more Person Households	12	0.79%	36	1.11%	105	0.98%
2019 Average Household Size	2.30		2.50		2.50	
Households						
2024 Projection	2,276		4,863		13,113	
2019 Estimate	2,087		4,463		12,315	
2010 Census	1,521		3,237		10,687	
Growth 2019 - 2024	9.06%		8.96%		6.48%	
Growth 2010 - 2019	37.21%		37.87%		15.23%	

Demographic Detail Report

7381 Richmond Rd, Williamsburg, VA 23188

Radius	1 Mile	3 Mile	5 Mile
2019 Households by HH Income	2,086	4,463	12,316
<\$25,000	284 13.61%	708 15.86%	1,851 15.03%
\$25,000 - \$50,000	243 11.65%	542 12.14%	2,110 17.13%
\$50,000 - \$75,000	273 13.09%	593 13.29%	1,962 15.93%
\$75,000 - \$100,000	392 18.79%	797 17.86%	2,026 16.45%
\$100,000 - \$125,000	314 15.05%	578 12.95%	1,694 13.75%
\$125,000 - \$150,000	198 9.49%	528 11.83%	1,051 8.53%
\$150,000 - \$200,000	318 15.24%	495 11.09%	1,050 8.53%
\$200,000+	64 3.07%	222 4.97%	572 4.64%
2019 Avg Household Income	\$97,436	\$96,489	\$89,344
2019 Med Household Income	\$90,497	\$87,186	\$77,900
2019 Occupied Housing	2,086	4,462	12,315
Owner Occupied	1,775 85.09%	3,597 80.61%	9,191 74.63%
Renter Occupied	311 14.91%	865 19.39%	3,124 25.37%
2010 Housing Units	2,119	4,648	13,679
1 Unit	1,996 94.20%	4,148 89.24%	10,714 78.32%
2 - 4 Units	91 4.29%	132 2.84%	824 6.02%
5 - 19 Units	32 1.51%	351 7.55%	1,891 13.82%
20+ Units	0 0.00%	17 0.37%	250 1.83%
2019 Housing Value	1,776	3,598	9,192
<\$100,000	66 3.72%	115 3.20%	315 3.43%
\$100,000 - \$200,000	178 10.02%	436 12.12%	1,536 16.71%
\$200,000 - \$300,000	613 34.52%	1,226 34.07%	2,771 30.15%
\$300,000 - \$400,000	559 31.48%	1,052 29.24%	2,119 23.05%
\$400,000 - \$500,000	264 14.86%	486 13.51%	1,158 12.60%
\$500,000 - \$1,000,000	96 5.41%	277 7.70%	1,232 13.40%
\$1,000,000+	0 0.00%	6 0.17%	61 0.66%
2019 Median Home Value	\$305,546	\$302,091	\$299,061
2019 Housing Units by Yr Built	2,194	4,760	13,924
Built 2010+	543 24.75%	1,210 25.42%	1,626 11.68%
Built 2000 - 2010	857 39.06%	1,454 30.55%	4,650 33.40%
Built 1990 - 1999	157 7.16%	520 10.92%	2,524 18.13%
Built 1980 - 1989	195 8.89%	681 14.31%	2,358 16.93%
Built 1970 - 1979	253 11.53%	456 9.58%	1,571 11.28%
Built 1960 - 1969	112 5.10%	175 3.68%	620 4.45%
Built 1950 - 1959	42 1.91%	127 2.67%	292 2.10%
Built <1949	35 1.60%	137 2.88%	283 2.03%
2019 Median Year Built	2003	2001	1996

Demographic Market Comparison Report

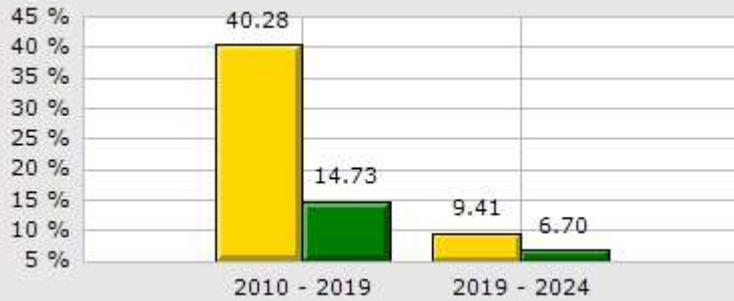
1 mile radius

7381 Richmond Rd, Williamsburg, VA 23188

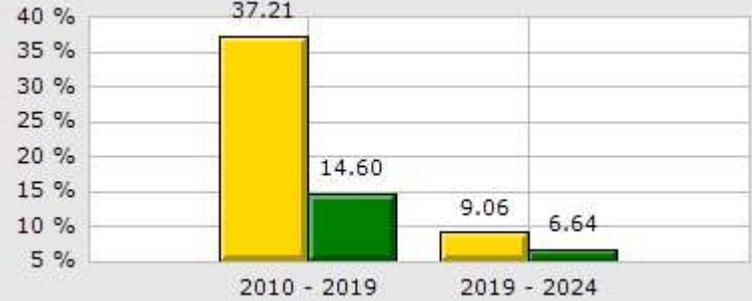
Type: **Hospitality/Motel**
 County: **James City**

1 Mile
County

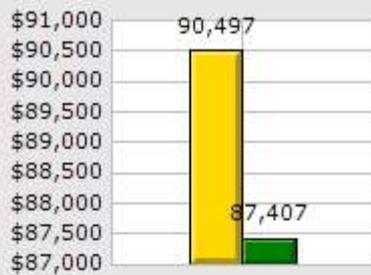
Population Growth



Household Growth



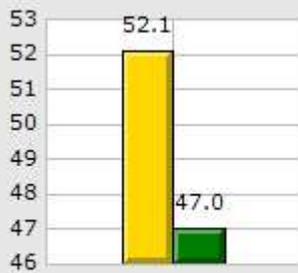
2019 Med Household Inc



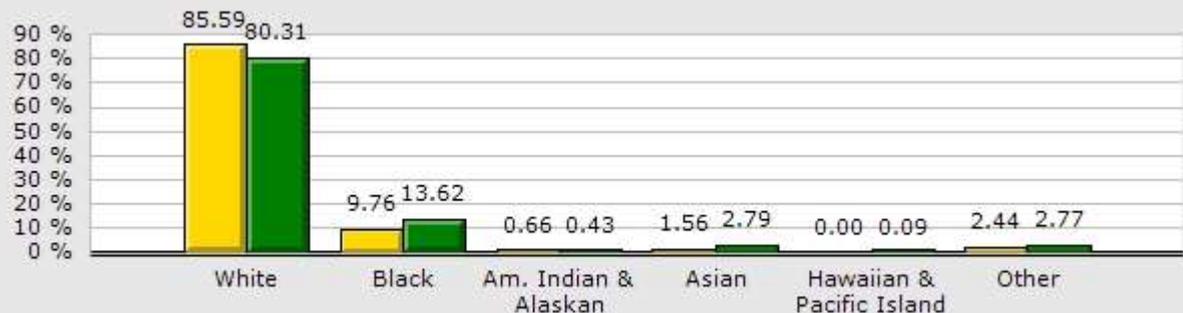
2019 Households by Household Income



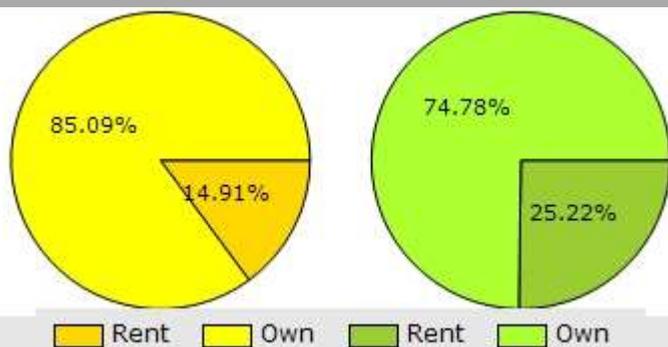
2019 Median Age



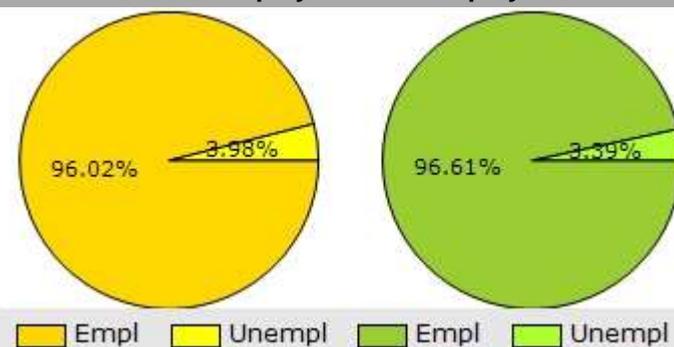
2019 Population by Race



2019 Renter vs. Owner



2019 Employed vs. Unemployed



Demographic Market Comparison Report

1 mile radius

7381 Richmond Rd, Williamsburg, VA 23188

Type: **Hospitality/Motel**
 County: **James City**

	1 Mile		County	
Population Growth				
Growth 2010 - 2019	40.28%		14.73%	
Growth 2019 - 2024	9.41%		6.70%	
Empl	2,294	96.02%	35,154	96.61%
Unempl	95	3.98%	1,235	3.39%
2019 Population by Race				
	4,877		76,879	
White	4,174	85.59%	61,739	80.31%
Black	476	9.76%	10,468	13.62%
Am. Indian & Alaskan	32	0.66%	327	0.43%
Asian	76	1.56%	2,146	2.79%
Hawaiian & Pacific Island	0	0.00%	67	0.09%
Other	119	2.44%	2,132	2.77%
Household Growth				
Growth 2010 - 2019	37.21%		14.60%	
Growth 2019 - 2024	9.06%		6.64%	
Renter Occupied	311	14.91%	7,764	25.22%
Owner Occupied	1,775	85.09%	23,018	74.78%
2019 Households by Household Income				
	2,086		30,782	
Income <\$25K	284	13.61%	4,011	13.03%
Income \$25K - \$50K	243	11.65%	4,908	15.94%
Income \$50K - \$75K	273	13.09%	4,265	13.86%
Income \$75K - \$100K	392	18.79%	4,447	14.45%
Income \$100K - \$125K	314	15.05%	4,006	13.01%
Income \$125K - \$150K	198	9.49%	3,064	9.95%
Income \$150K - \$200K	318	15.24%	2,885	9.37%
Income \$200K+	64	3.07%	3,196	10.38%
2019 Med Household Inc	\$90,497		\$87,407	
2019 Median Age	52.10		47.00	

AGENCY DISCLOSURE

In a real estate transaction, when the Agent represents the:

Seller/Landlord:

then an Agent under a listing agreement with a seller acts as the agent for the seller. The listing company and all of its broker/agents, and the selling company and all of its agents as subagents of the seller, would owe their fiduciary duties to the seller. The broker and broker's agents may still provide buyer/tenants, as customers, with information about properties and available financing, may show them properties, and may assist them in preparing an offer to purchase, option or lease a particular property.

Buyer/Tenant:

then an Agent under a contract with a buyer acts as the agent for that buyer only, as a "Buyer/Broker/Agent," and the Agent is not the seller's agent, even if the Purchase Contract provides that the Seller or the Listing Broker will pay the Agent for the services rendered to the buyer/tenant. An Agent acting as the buyer's/tenant's agent must disclaim sub agency if offered and must disclose the Buyer/Tenant Broker/Agent relationship when dealing with the seller's/landlord's Agent or the Seller/Landlord. The Buyer/Tenant Broker/Agent owes its fiduciary duties to the buyer/tenant.

Buyer and Seller (Acting as a Dual Agent):

then an Agent, either acting directly or through one or more of the brokerage firm's other Agents, may be the Agent of both the buyer and the seller, but only if the scope of the agency is limited by a written agreement and only with the express knowledge and written consent of both the buyer and the seller. An Agent representing both the buyer and the seller must disclose all information regarding the agency relationship, including the limitation on the Agent's ability to represent either party fully and exclusively. The Agent must not disclose to either party, without the prior consent of the party adversely affected by the disclosure, any information obtained within the confidentiality and trust of the fiduciary relationship. As an example, the Agent must not tell the buyer that the seller will accept a price lower than the listing price, nor tell the seller that the buyer will pay a price offered, without the prior consent of the party adversely affected by the disclosure.

Campana Waltz Commercial Real Estate, LLC is the _____ Listing Broker, _____ Buyer Broker, _____ Dual Agent for the property submitted in this information package.

Acknowledged by:

Campana Waltz Commercial Real Estate, LLC